



# Property Inspection Report



- Sewer Camera Scans
- Mold Testing
- Radon Testing
- Pest Inspections

**30 Colecrest Street, Carnegie, PA**

INSPECTOR: Alexander T Laughlin

LICENSE: ASHI #262496

DATE OF INSPECTION: 7/17/2025

INSPECTION PREPARED FOR:

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## Report Summary

**HOW TO READ REPORT: "RED"** The **RED** colored narratives in the report are, in the inspector's opinion, **"Top priority, Major safety issues, and/or Higher expense repairs"** **"BLUE"** The **BLUE** colored narratives in the report are, in the inspector's opinion, **"Lower priority, More common, Lower risk safety issues, and/or Less expensive repairs"** This summary section below outlines and highlights the main deficiencies that were found within this property. Other minor deficiencies may be listed in black ink in the categorized sections of the report as well. Please read the entire report.

Exterior Components		
Page 6 Item: 5	Exterior Trim	<ul style="list-style-type: none"> <li>• There are areas of peeling paint and wood-rot visible on exterior of house and garage. The peeling paint should be scraped and re-painted. Any areas of wood rot should be replaced.</li> </ul>
Page 7 Item: 8	Lights	<ul style="list-style-type: none"> <li>• There is a loose wire on exterior of house which should be removed by an electrician or properly installed in to a junction box.</li> </ul>
Page 7 Item: 9	Outlets	<ul style="list-style-type: none"> <li>• The exterior outlets do not have ground-fault protection and should be upgraded by an electrician.</li> </ul>
Exterior Material and Condition		
Page 8 Item: 2	Wall Covering Condition	<ul style="list-style-type: none"> <li>• Areas of missing mortar need repaired to help prevent further damage. A mason should evaluate the entire house and make all repairs needed.</li> <li>• Some areas of siding are loose and missing. A Contractor should further evaluate and make repairs as needed.</li> <li>• The window lintels are rusted and have visible deflection, which has resulted in brick movement and missing mortar. A contractor should further evaluate and make repairs as needed.</li> </ul>
Exterior Grading		
Page 10 Item: 1	Grading Adjacent to House	<ul style="list-style-type: none"> <li>• The exterior grading slopes towards the residence in areas and moisture intrusion is always a possibility given the location and terrain even when grading is properly done. The soil should slope away from the residence to a distance of around five feet, to keep moisture away from the foundation. Any areas of solid surfaces such as concrete, asphalt etc. should be caulked at the joint where it meets the structure. Proper grading of the exterior should be done now and maintained over the years of ownership. The areas below grade such as basements and crawlspaces are most susceptible to moisture. Ensuring proper grading on the exterior of the house could have a significant reflection on the dampness of these underground areas. In my experience, proper exterior grading will help to slow down the moisture penetration into the areas of the structure that are underground, however other measures may need to be taken.</li> </ul>



Spigots Hose Bibs		
Page 10 Item: 1	Garden Hose Bibs	• A hose bib on the exterior leaks while in use and should be repaired or replaced by a plumber.
Composition Asphalt Shingles Garage		
Page 13 Item: 4	Gutters	• There are no gutters on the garage roof, which are recommended for the maintenance of the foundation. I recommend that a contractor install a complete gutter system in this area.
Chimney		
Page 14 Item: 1	Chimney Walls	• The chimney has areas of missing mortar that should be repointed. A chimney sweep or qualified contractor should further evaluate each chimney and make repairs as needed.
Page 15 Item: 3	Chimney Crown	• The chimney crown, which is designed to seal the chimney wall and divert rainwater, is cracked and should be repaired to help prevent moisture penetration. A qualified contractor or chimney sweep should further evaluate and make repairs as needed.
Page 15 Item: 4	Chimney Flue	• There are cracks and deterioration at the flue liners that should be evaluated by a chimney sweep and replaced as needed.
Page 15 Item: 5	Weather Cap	• There is no weather cap on the chimney. A weather cap with a screen should be installed to help keep out moisture, rodents and birds.
Kitchen 2		
Page 18 Item: 12	Outlets	• All the counter top outlets in the kitchen should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature. An electrician should further evaluate and make repairs as needed.
Laundry		
Page 18 Item: 5	Outlets	• The outlets in the laundry room should be updated to have ground fault protection. An electrician should make repairs.
Garage		
Page 19 Item: 3	Walls And Ceiling	• The rear foundation wall of the garage has a significant amount of movement and damage. Repairs should be made by a certified contractor as needed.
Entry Section/Property Details		
Page 21 Item: 3	Environmental Hygiene Observations	• Asbestos could be present in plaster and many other materials that were in use prior to 1978. You should be aware that there could be floor tiles within this residence that contain asbestos. You may wish to have these tiles tested.
Master Bath		
Page 26 Item: 8	Outlets	• The <b>GFCI</b> outlet did not trip on test when tested with a GFCI tester and should be repaired by an electrician.
Guest Bath		
Page 27 Item: 5	Windows	• A dual-glazed window has a broken hermetic seal that has fogged the glass.

Page 27 Item: 7	Bathtub/Shower	<ul style="list-style-type: none"> <li>• There are open grout-joints in the tiles around the tub area of the bathroom that should be sealed to prevent moisture damage. A contractor should further evaluate and make repairs as needed.</li> </ul>
Page 28 Item: 11	Outlets	<ul style="list-style-type: none"> <li>• The outlets in the bathroom are not ground fault protected and should be updated by an electrician.</li> </ul>
Basement Bath		
Page 29 Item: 7	Toilet	<ul style="list-style-type: none"> <li>• The toilet was leaking on the floor and should be further evaluated by a plumber and repaired as needed.</li> </ul>
Unfinished Basement Section		
Page 30 Item: 2	Moisture or Dampness	<ul style="list-style-type: none"> <li>• There is efflorescence or staining on the basement or lower level walls, which is caused by moisture intrusion. This in our area is not uncommon, however, it should be controlled. The exterior grading around the house should be built up to slope away from the house at a drop of 5 inches over 5 feet. As with most basements, you should know that future moisture penetration is possible.</li> </ul>
Page 30 Item: 4	Foundation	<ul style="list-style-type: none"> <li>• There is an unidentified moldlike substance in the basement, which should be further evaluated by a specialist.</li> </ul>
Water Supply		
Page 32 Item: 3	Water Pipe Condition	<ul style="list-style-type: none"> <li>• There is a leak at a fitting in basement, above the washer, which should be repaired by a plumber.</li> </ul>
Plumbing/Waste Section		
Page 34 Item: 3	Drain Pipe Condition	<ul style="list-style-type: none"> <li>• We strongly recommend carrying underground pipe insurance on your home. This can help cover costly repairs to the home underground sewer lines and utilities. In most cases, you own all utilities from the house out to where it ties in at the main/street.</li> </ul>
Water Heater		
Page 35 Item: 3	Combustion Chamber	<ul style="list-style-type: none"> <li>• The combustion chamber in the gas water heater is clean, and there is no evidence of leaks. However, it is beyond its design life and should be monitored for replacement.</li> </ul>
Main Panel		
Page 36 Item: 3	Service Entrance Mast And Cleat	<ul style="list-style-type: none"> <li>• Putty at service entrance to meter is drying out and opened. It should be resealed to help prevent water entry.</li> </ul>
Page 36 Item: 4	Main Panel	<ul style="list-style-type: none"> <li>• The main electrical panel is not an original installation and has no inspection sticker on it. This panel should be inspected by an electrical inspector.</li> </ul>
Certified Contractors		
Page 40 Item: 1	Repairs	<ul style="list-style-type: none"> <li>• It is our strong recommendation that you hire certified contractors to perform any type of work on your home. Codes, current standards, rules and regulations are always changing and being revised. Our inspections are based off of the most recent codes and current standards to date.</li> </ul>

# Inspection Details

## 1. Attendance

In Attendance: Selling Agent present, Seller present

## 2. Home Type

Home Type: Single Family Home

## 3. Occupancy

Occupancy: Occupied - Furnished • The utilities were on at the time of inspection. • Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

# Exterior Components

## 1. Section Comments

Observations:

- Proper maintenance of this property should be done year round. Ensure that all joints, seams, windows, driveways, walkways etc. are properly sealed and caulked to help prevent moisture penetration and help with energy efficiency.

## 2. Driveway

Observations:

- The driveway is made of asphalt.
- The driveway is in acceptable condition for its age.

## 3. Walkways

Observations:

- The walkways are made of concrete.
- There are offsets in the walkways that are typical for their age.

## 4. Yard Walls

Observations:

- The yard walls are functional. As with any exterior wall, they should be monitored and future repairs should be expected.

## 5. Exterior Trim

Observations:

- There are areas of peeling paint and wood-rot visible on exterior of house and garage. The peeling paint should be scraped and re-painted. Any areas of wood rot should be replaced.



## 6. Doors

### Observations:

- The exterior doors are in acceptable condition. We do not comment on missing or damaged screens or storm doors.

## 7. Windows

### Observations:

- We test every window that we are able to get to. We are unable to move furniture or storage to get to windows and other components.

## 8. Lights

### Observations:

- The exterior lights of the residence are functional. However, we do not inspect or evaluate decorative or gas lights.
- There is a loose wire on exterior of house which should be removed by an electrician or properly installed in to a junction box.



## 9. Outlets

### Observations:

- The exterior outlets do not have ground-fault protection and should be upgraded by an electrician.



# Exterior Material and Condition

## 1. Wall Covering Type

Observations:

- The exterior house walls are clad with a combination of brick and vinyl siding.

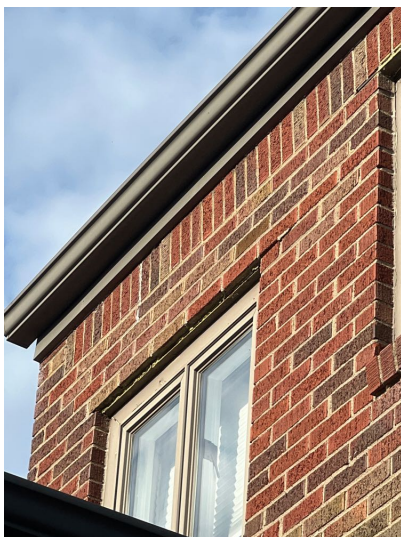
## 2. Wall Covering Condition

Observations:

- Areas of missing mortar need repaired to help prevent further damage. A mason should evaluate the entire house and make all repairs needed.
- Some areas of siding are loose and missing. A Contractor should further evaluate and make repairs as needed.
- The window lintels are rusted and have visible deflection, which has resulted in brick movement and missing mortar. A contractor should further evaluate and make repairs as needed.







# Exterior Grading

## 1. Grading Adjacent to House

### Observations:

- The exterior grading slopes towards the residence in areas and moisture intrusion is always a possibility given the location and terrain even when grading is properly done. The soil should slope away from the residence to a distance of around five feet, to keep moisture away from the foundation. Any areas of solid surfaces such as concrete, asphalt etc. should be caulked at the joint where it meets the structure. Proper grading of the exterior should be done now and maintained over the years of ownership.

The areas below grade such as basements and crawlspaces are most susceptible to moisture. Ensuring proper grading on the exterior of the house could have a significant reflection on the dampness of these underground areas. In my experience, proper exterior grading will help to slow down the moisture penetration into the areas of the structure that are underground, however other measures may need to be taken.

# Spigots Hose Bibs

## 1. Garden Hose Bibs

### Observations:

- A hose bib on the exterior leaks while in use and should be repaired or replaced by a plumber.





# Composition Asphalt Shingles

## 1. General Comments

### Observations:

- There are several different types of composition shingle roofs, which are made of asphalt or fiberglass materials with mineral granules. The most common of these roofs will last on average of about 20 years. The life expectancy of an asphalt shingle roof will vary, depending on location, sunlight, shade and other weather determining factors. However, the first indication of significant wear occurs when the granules begin to separate and leave pockmarks or dark spots. In accordance with industry standards our inspection does not include a guarantee against leaks. For such a guarantee, you would need to have a roofing company perform a water test and issue a roof certification. You should ask the sellers if they have ever experienced a roof leak since they have occupied this property.

## 2. Method of Evaluation

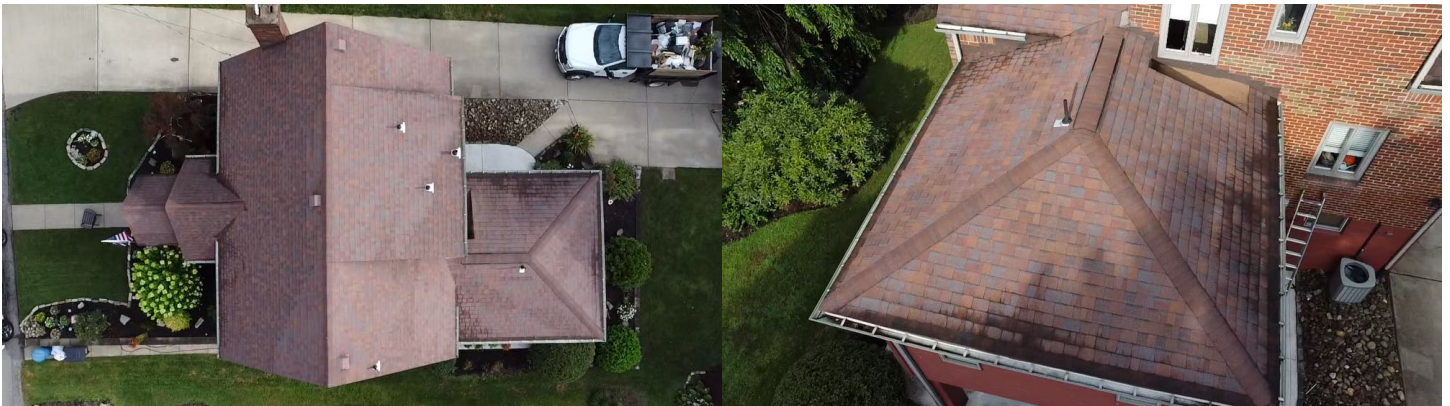
### Observations:

- The roof was viewed with a Drone.

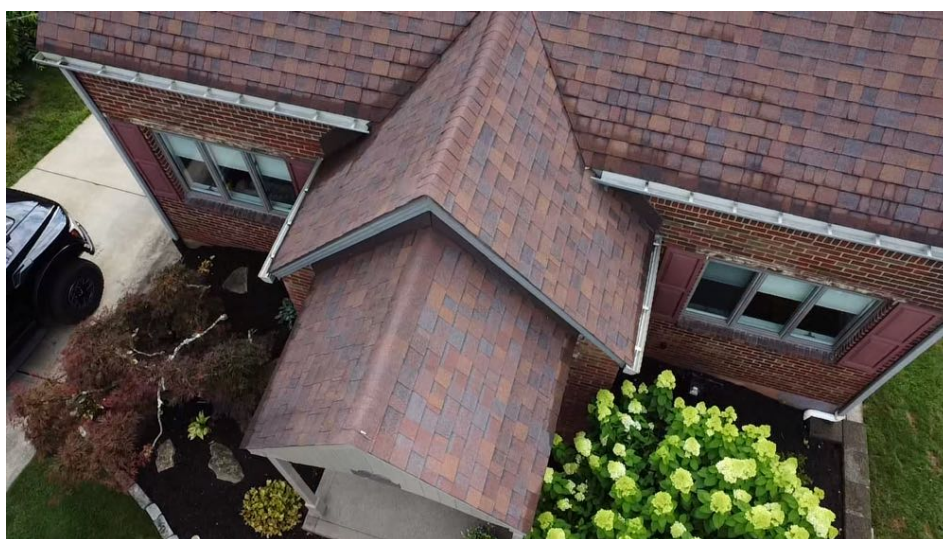
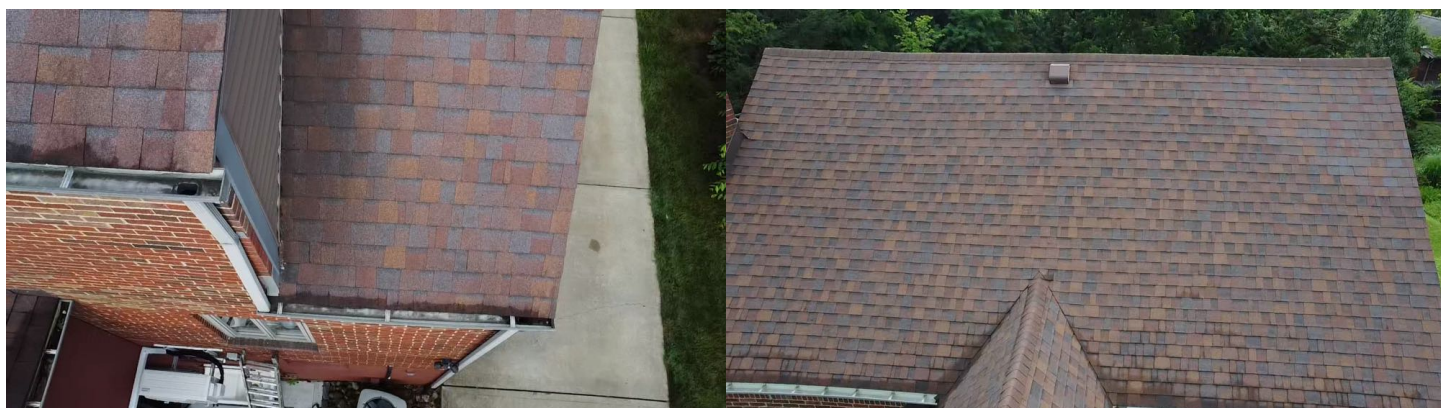
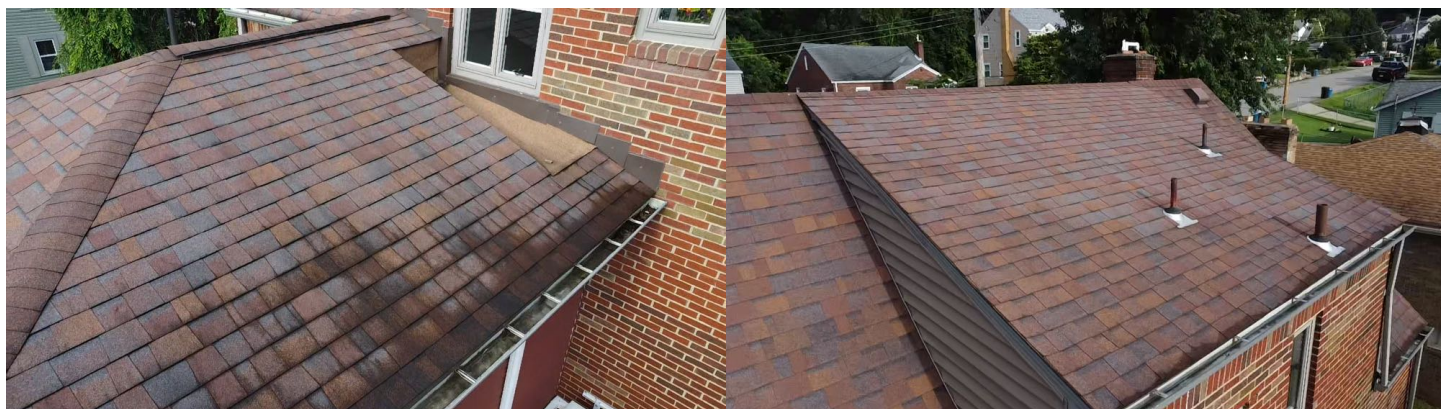
## 3. Age and General Evaluation

### Observations:

- The composition shingle roof appears to be around 10 years old. This is just an estimate and you should ask the sellers if they have an exact date of install. It is important to keep all receipts and documents for warranty and material maintenance requirements.
- The composition shingle roof is in acceptable condition. Our inspection does not include any guarantee for any type of roof leaks that may occur in the future.







#### 4. Flashing

##### Observations:

- The roof flashings appear to be in acceptable condition. They should be monitored in the future and will need recaulked in areas.

## 5. Gutters

### Observations:

- The gutter system on the composition shingle roof appear to be in acceptable condition. With-out water in them, it is not possible to determine if they are leaking, clogged or sloped correctly.
- The downspouts go into the ground and the rain leaders were not visible for inspection.

# Composition Asphalt Shingles Garage

## 1. General Comments

### Observations:

- There are several different types of composition shingle roofs, which are made of asphalt or fiberglass materials with mineral granules. The most common of these roofs will last on average of about 20 years. The life expectancy of an asphalt shingle roof will vary, depending on location, sunlight, shade and other weather determining factors. However, the first indication of significant wear occurs when the granules begin to separate and leave pockmarks or dark spots. In accordance with industry standards our inspection does not include a guarantee against leaks. For such a guarantee, you would need to have a roofing company perform a water test and issue a roof certification. You should ask the sellers if they have ever experienced a roof leak since they have occupied this property.

## 2. Method of Evaluation

### Observations:

- We were unable to safely walk this roof and evaluated it from the ground with binoculars.

## 3. Age and General Evaluation

### Observations:

- The composition shingle roof appears to be around 10 years old. This is just an estimate and you should ask the sellers if they have an exact date of install. It is important to keep all receipts and documents for warranty and material maintenance requirements.
- The composition shingle roof is in acceptable condition. Our inspection does not include any guarantee for any type of roof leaks that may occur in the future.



## 4. Gutters

### Observations:

- There are no gutters on the garage roof, which are recommended for the maintenance of the foundation. I recommend that a contractor install a complete gutter system in this area.





## Attic

### 1. Method of Evaluation

#### Observations:

- This is a cape cod with only lower access areas. There was no overhead access to evaluate.

### 2. Framing

#### Observations:

- The visible portions of the framing are in acceptable condition, and would conform to the standards of the year in which they were constructed.
- There are moisture stains or evidence of damage or past leakage to the roof sheathing. We did not feel that the stains were active at this time, although they should be monitored.

### 3. Ventilation

#### Observations:

- Ventilation within the attic appears adequate.

### 4. Batt Insulation

#### Observations:

- The attic is insulated with around 6 inches of batt insulation. Current standards call for twelve or even sixteen-inches of insulation.

## Chimney

### 1. Chimney Walls

#### Observations:

- The chimney has areas of missing mortar that should be repointed. A chimney sweep or qualified contractor should further evaluate each chimney and make repairs as needed.



## 2. Chimney Flashing

### Observations:

- The chimney flashing is in acceptable condition. They should be evaluated periodically and may need resealed in the future.

## 3. Chimney Crown

### Observations:

- The chimney crown, which is designed to seal the chimney wall and divert rainwater, is cracked and should be repaired to help prevent moisture penetration. A qualified contractor or chimney sweep should further evaluate and make repairs as needed.



## 4. Chimney Flue

### Observations:

- There are cracks and deterioration at the flue liners that should be evaluated by a chimney sweep and replaced as needed.

## 5. Weather Cap

### Observations:

- There is no weather cap on the chimney. A weather cap with a screen should be installed to help keep out moisture, rodents and birds.

# Kitchen

## 1. General Kitchen Comments

### Observations:

- We do not test portable kitchen appliances as part of our service.

## 2. Floor

### Observations:

- The tile floor is in acceptable condition for its age.

## 3. Walls And Ceiling

### Observations:

- The walls and ceiling have typical cosmetic damage.

## 4. Windows

### Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

## 5. Cabinets

### Observations:

- The cabinet drawers and doors were in acceptable condition for their age.

## 6. Faucet

### Observations:

- The kitchen sink faucet is functional.

## 7. Valves and Connectors

### Observations:

- The valves and connectors below the kitchen sink were not leaking at the time of the inspection. However, they are not in daily use and will inevitably become stiff or frozen from inactivity.

## 8. Trap and Drain

### Observations:

- The trap and drain at the kitchen sink are functional.

## 9. Garbage Disposal

### Observations:

- The garbage disposal is functional.

## 10. Dishwasher

### Observations:

- The dishwasher is functional.

## 11. Built In Oven

### Observations:

- The built in oven was a gas oven.
- The built in oven was functional at the time of the inspection.

## 12. Cooktop

### Observations:

- The cooktop was a gas cooktop.

### 13. Built In Microwave

Observations:

- The microwave had power, turned on, and appeared to function at the time of the inspection.

### 14. Lights

Observations:

- The lights are functional.

### 15. Outlets

Observations:

- The outlets in the kitchen that were tested are functional to include ground-fault protection.

## Kitchen 2

### 1. General Kitchen Comments

Observations:

- We do not test portable kitchen appliances as part of our service.

### 2. Doors

Observations:

- The exterior door is functional.

### 3. Floor

Observations:

- The vinyl floor is in acceptable condition for its age.

### 4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

### 5. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

### 6. Cabinets

Observations:

- The cabinet drawers and doors were in acceptable condition for their age.

### 7. Faucet

Observations:

- The kitchen sink faucet is functional.

### 8. Valves and Connectors

Observations:

- The valves and connectors below the kitchen sink were not leaking at the time of the inspection. However, they are not in daily use and will inevitably become stiff or frozen from inactivity.

### 9. Trap and Drain

Observations:

- The trap and drain at the kitchen sink are functional.



#### 10. Built In Oven

Observations:

- The built in oven was a gas oven.
- The built in oven was functional at the time of the inspection.

#### 11. Lights

Observations:

- The lights are functional.

#### 12. Outlets

Observations:

- All the counter top outlets in the kitchen should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature. An electrician should further evaluate and make repairs as needed.

#### 13. Type of Stove

Observations:

- This house has a gas line to serve a gas stove.

## Laundry

#### 1. General Laundry Room Comments

Observations:

- We do not test washer and dryers as a part of our inspection.

#### 2. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

#### 3. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

#### 4. Lights

Observations:

- The lights are functional.

#### 5. Outlets

Observations:

- The outlets in the laundry room should be updated to have ground fault protection. An electrician should make repairs.

#### 6. Faucet

Observations:

- The laundry sink faucet is functional.

#### 7. Valves and Connectors

Observations:

- The valves and connectors for the washing machine appear functional and were not leaking. However, because they are not in daily use they typically become stiff or frozen. We do not water test these valves. They will sometimes leak once a washing machine is installed and the valves are on and under pressure. Typically if they do leak, it is the packing nut that needs tightened.

## 8. Trap and Drain

Observations:

- The trap and drain lines below the laundry sink are functional.

## 9. Type of Dryer

Observations:

- This house has a gas line to serve a gas dryer.

# Garage

## 1. General Garage Comments

Observations:

- This is a detached garage.

## 2. Slab

Observations:

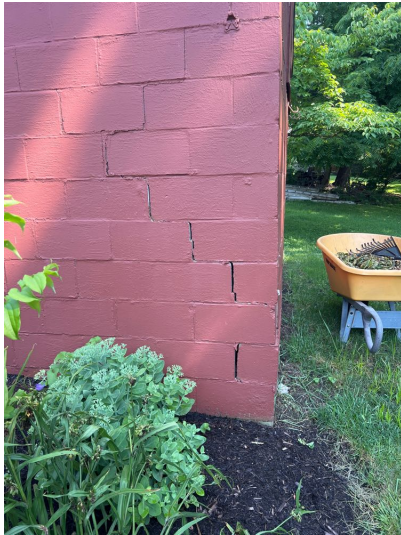
- The garage slab is cracked, but not load-bearing. We do not feel that repairs are needed, however if you wish, a contractor could evaluate.



## 3. Walls And Ceiling

Observations:

- The rear foundation wall of the garage has a significant amount of movement and damage. Repairs should be made by a certified contractor as needed.



#### 4. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

#### 5. Garage Door And Hardware

Observations:

- The garage door is functional.

## Entry Section/Property Details

#### 1. Furnished Residence

Observations:

- The residence is furnished, and in accordance with industry standards we only inspect those surfaces that are exposed and accessible.

## 2. Smoke Detectors

### Observations:

- We do not evaluate smoke detectors as part of our service.
- We are most vulnerable to carbon monoxide when we sleep. It is recommended that carbon monoxide detectors be placed nearest the bedrooms. You should also place a carbon monoxide detector near gas burning components such as fireplaces, furnaces and gas heaters.

## 3. Environmental Hygiene Observations

### Observations:

- A domestic animal occupies/occupied this residence.
- The house was built on or before 1978 and asbestos and lead-based paint could be present. We do not have the expertise or the authority to determine if there is in fact these materials. If you wish, you may have areas that appear to be asbestos or lead paint tested by a specialist.
- We do not evaluate the property for mine subsidence. You may wish to inquire about this type of coverage by a specialist.
- As with most basements, this basement has signs of moisture penetration. Where there is moisture, there is potential for mold or mildew. If there is visible mold-like substances at this property, we will note it in the report. You may wish to have a specialist further evaluate.
- **Asbestos could be present in plaster and many other materials that were in use prior to 1978. You should be aware that there could be floor tiles within this residence that contain asbestos. You may wish to have these tiles tested.**



## 4. Doors

### Observations:

- The front door is functional.

## 5. Floor

### Observations:

- The wood floor is in acceptable condition for its age.



## 6. Walls And Ceiling

### Observations:

- The walls and ceiling have typical cosmetic damage.
- Cracking, paint peeling and signs of movement are very common with older houses and even with newer homes. Settlement and movement will happen through the years and cracks will become visible. During my inspection, I do my best to determine issues that need addressed. I do not comment on all cracks and stains unless I feel that they need addressed. Not all cracks and stains are active or a concern.
- All moisture stains that were able to be tested for active moisture were scanned with a moisture meter. Stains that are not active during the inspection, could potentially become actively wet at a later date. All stains should be monitored in the future.

## 7. Windows

### Observations:

- The windows in this room are glass block.
- The windows were in acceptable condition at the time of the inspection.

## 8. Lights

### Observations:

- The lights are functional.

## 9. Outlets

### Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

# Living Room

## 1. Floor

### Observations:

- The wood floor is in acceptable condition for its age.

## 2. Walls And Ceiling

### Observations:

- The walls and ceiling have typical cosmetic damage.

## 3. Windows

### Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

## 4. Outlets

### Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

# Dining Room

## 1. Floor

### Observations:

- The wood floor is in acceptable for its age.

## 2. Walls And Ceiling

### Observations:

- The walls and ceiling have typical cosmetic damage.

## 3. Windows

### Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

## 4. Lights

### Observations:

- The lights are functional.

## 5. Outlets

### Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

# Finished Basement

## 1. Floor

### Observations:

- The vinyl floor is in acceptable condition for its age.

## 2. Walls And Ceiling

### Observations:

- The walls and ceiling have typical cosmetic damage.
- Some areas of the finished basement were covered with drywall or a finished material which covered my view of the foundation and things such as moisture penetration and structural movement.

## 3. Windows

### Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

## 4. Lights

### Observations:

- The lights are functional.

## 5. Outlets

### Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

# Master Bedroom

## 1. Location

### Observations:

- The master bedroom is located on the main floor at the rear of house.

## 2. Doors

Observations:

- The door is functional.

## 3. Floor

Observations:

- The vinyl floor is in acceptable condition for its age.

## 4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

## 5. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

## 6. Lights

Observations:

- The lights are functional.

## 7. Outlets

Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

# Bedroom 2

## 1. Location

Observations:

- The bedroom is located on the second floor at the left side of house.

## 2. Doors

Observations:

- The door is functional.

## 3. Floor

Observations:

- The wood floor is in acceptable condition for its age.

## 4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

## 5. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

## 6. Lights

Observations:

- The lights are functional.



## 7. Outlets

Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

# Bedroom 3

## 1. Location

Observations:

- The bedroom is located on the second floor at the right side of house.

## 2. Doors

Observations:

- The door is functional.

## 3. Floor

Observations:

- The wood floor is in acceptable condition for its age.

## 4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

## 5. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

## 6. Lights

Observations:

- The lights are functional.

## 7. Outlets

Observations:

- The outlets in this room were functional.

# Bedroom 4

## 1. Location

Observations:

- The bedroom is located on the main floor at the rear left side of house.

## 2. Doors

Observations:

- The door is functional.

## 3. Floor

Observations:

- The wood floor is in acceptable condition for its age.

#### 4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

#### 5. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

#### 6. Lights

Observations:

- The lights are functional.

#### 7. Outlets

Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

## Master Bath

#### 1. Size And Location

Observations:

- This bathroom is a half bath and is located on the main floor at the rear of house.

#### 2. Doors

Observations:

- The door is functional.

#### 3. Floor

Observations:

- The tile floor is in acceptable condition for its age.

#### 4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

#### 5. Sink

Observations:

- The bathroom sink and its components are functional.

#### 6. Toilet

Observations:

- The toilet is functional.

#### 7. Lights

Observations:

- The lights are functional.

#### 8. Outlets

Observations:

- The **GFCI** outlet did not trip on test when tested with a GFCI tester and should be repaired by an electrician.

# Guest Bath

## 1. Size And Location

Observations:

- This bathroom is a full bath and is located on the second floor at the rear of house.

## 2. Doors

Observations:

- The door needs to be shaved or trimmed to open and close properly.

## 3. Floor

Observations:

- The vinyl floor is in acceptable condition for its age.

## 4. Walls And Ceiling

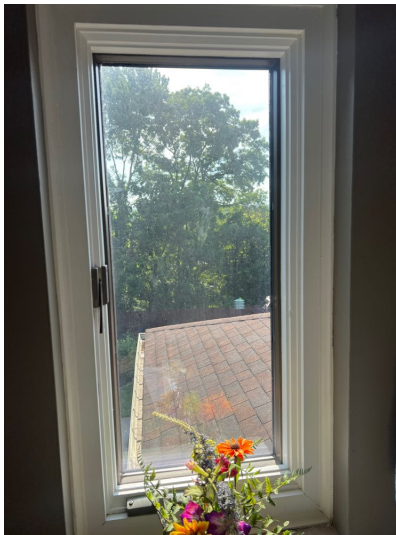
Observations:

- The walls and ceiling have typical cosmetic damage.

## 5. Windows

Observations:

- The windows in this room are dual glazed.
- A dual-glazed window has a broken hermetic seal that has fogged the glass.



## 6. Sink

Observations:

- The bathroom sink and its components are functional.

## 7. Bathtub/Shower

Observations:

- The access area behind the tub was evaluated and there were no visible leakage at the time of the inspection.
- There are open grout-joints in the tiles around the tub area of the bathroom that should be sealed to prevent moisture damage. A contractor should further evaluate and make repairs as needed.



#### 8. Toilet

Observations:

- The toilet is functional.

#### 9. Exhaust Fan

Observations:

- The bathroom exhaust fan is functional.

#### 10. Lights

Observations:

- The lights are functional.

#### 11. Outlets

Observations:

- The outlets in the bathroom are not ground fault protected and should be updated by an electrician.

## Basement Bath

#### 1. Size And Location

Observations:

- This bathroom is a three quarter bath and is located on the basement level at the rear of house.

#### 2. Doors

Observations:

- The door is functional.

#### 3. Floor

Observations:

- The tile floor is in acceptable condition for its age.

#### 4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

#### 5. Sink

Observations:

- The bathroom sink and its components are functional.

#### 6. Stall Shower

Observations:

- The stall shower was functional.

#### 7. Toilet

Observations:

- The toilet was leaking on the floor and should be further evaluated by a plumber and repaired as needed.



#### 8. Exhaust Fan

Observations:

- The bathroom exhaust fan is functional.

#### 9. Lights

Observations:

- The lights are functional.

#### 10. Outlets

Observations:

- The bathroom outlets are functional and include ground-fault protection.

## Unfinished Basement Section

#### 1. General Comments

Observations:

- Moisture in basements is common in our area. You should be prepared to monitor it. The exterior grading, as noted in the grading section, should have a positive slope away from the house and be maintained over the years. If you choose to have your basement finished with a finished material such as drywall, paneling, etc. be aware of the possibility of moisture intrusion and damage to that these finished components may see.

## 2. Moisture or Dampness

### Observations:

- There is efflorescence or staining on the basement or lower level walls, which is caused by moisture intrusion. This in our area is not uncommon, however, it should be controlled. The exterior grading around the house should be built up to slope away from the house at a drop of 5 inches over 5 feet. As with most basements, you should know that future moisture penetration is possible.



## 3. Floor

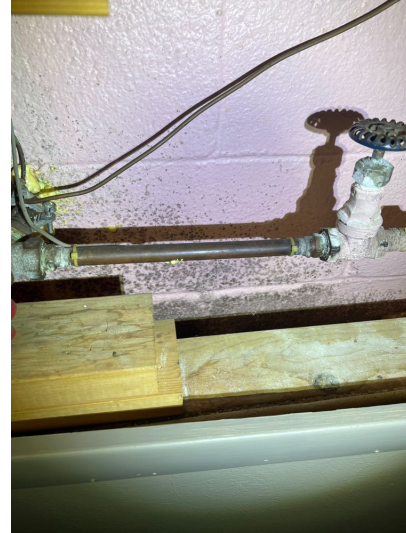
### Observations:

- The basement floor is concrete and in typical condition for its age.

## 4. Foundation

### Observations:

- The foundation is made of block.
- Areas of the foundation are covered with drywall or other finish material, which limited my ability to inspect for moisture or structural movement.
- There are areas of cracking or movement in the foundation walls. In most cases this is from moisture freezing against the wall, expanding, which is causing a shift at the wall. This is also called hydrostatic pressure. There are areas of movement at some walls at this property however, I do not feel that they are necessarily an issue that need repaired or evaluated by a certified contractor at this time. However, you may wish to have a specialist evaluate. If the moisture is not controlled, as noted in the grading section of the report, then future repairs should be expected in these areas of the basement.
- There is an unidentified moldlike substance in the basement, which should be further evaluated by a specialist.



## 5. Lights

Observations:

- The lights are functional.

## 6. Outlets

Observations:

- The outlets in the unfinished basement were functional.
- Several of the outlets are obstructed by furniture and were not tested.

# Floor Framing Style

## 1. General Comments and Description

Observations:

- The floor structure includes structural steel beams and conventional lumber sheathed with wood.

# Visible Basement Ceiling

## 1. General Comments and Description

Observations:

- The ceiling structure consists of standard joists.
- The ceiling joists in the basement are partially covered with a finished ceiling and all areas were not able to be evaluated.

# Stud Type

## 1. General Comments and Description

Observations:

- The walls are framed with wood studs.



# Roof Frame Type

## 1. General Comments and Description

Observations:

- The roof structure is conventionally framed with rafters.

# Water Supply

## 1. Main Water Shut Off Location

Observations:

- The main water shut-off valve is located in the basement.



## 2. Type Of Water Pipes

Observations:

- The potable water pipes are made of copper.

## 3. Water Pipe Condition

Observations:

- The plumbing components are older and there are signs of aging and corrosion. Repairs should be expected in the future.
- There is a leak at a fitting in basement, above the washer, which should be repaired by a plumber.



#### 4. Pressure Regulator

Observations:

- A water pressure regulator is in place on the plumbing system.



#### 5. Check Valve And Expansion Tank

Observations:

- There is an **expansion tank** on this water system.



# Plumbing/Waste Section

## 1. General Comments

### Observations:

- We attempt to evaluate drain pipes by running water down all accessible drains and water testing these components. We can not, however view all plumbing components, to include exterior lines. We recommend that you have a sewer camera test conducted as an additional service to have a close look at the condition of the drain lines underground.
- You should be aware that after taking ownership of this property leaks may occur that were not leaking or visible at the time of the inspection. We run a sizable amount of water down and at all accessible drains, sinks and toilets. This however does not compare to an occupied dwelling being lived in full-time.

## 2. Drain Pipe Type

### Observations:

- The residence is served by a combination of plastic, galvanized, cast iron, and terra cotta drain, waste, and vent pipes.

## 3. Drain Pipe Condition

### Observations:

- All accessible drainpipes are functional at this time.
- Areas of the plumbing drains have been updated to plastic.
- Plumbing drains are older in areas and should be monitored, repairs may be needed in the future.
- All areas of the main stack or other components of the plumbing drain system were not visible for inspection. Some areas were behind walls and buried.
- We strongly recommend carrying underground pipe insurance on your home. This can help cover costly repairs to the home underground sewer lines and utilities. In most cases, you own all utilities from the house out to where it ties in at the main/street.

# Gas

## 1. Gas Pipes

### Observations:

- The visible gas lines and their joints or connections were tested and did not appear to be leaking at the time of the inspection. We cannot test gas lines in walls or behind appliances.

# Water Heater

## 1. General Gas Water Heater Comments

### Observations:

- There are many different types of gas water heaters. They range from 15 to 100 gallons. Life expectancy of most water heaters is around 8 years, however it may last less than that. You should consider replacing your water tank at 8 years, even it is isn't showing any signs of aging.

## 2. Age Capacity And Location

### Observations:

- Hot water is provided by a 10 year old, 40 gallon gas water heater that is located in the basement.



### 3. Combustion Chamber

Observations:

- The combustion chamber in the gas water heater is clean, and there is no evidence of leaks. However, it is beyond its design life and should be monitored for replacement.

### 4. Water Supply

Observations:

- The shut-off valve and water connectors on the water heater are functional.

### 5. Gas Supply

Observations:

- The gas control valve and its connector at the water heater are functional.

### 6. Vent Pipe And Cap

Observations:

- The vent pipe and cap on the gas water heater are functional.

### 7. Drain Valve

Observations:

- The drain valve of the water heater is in place and presumed to be functional.

### 8. Pressure Relief Valve

Observations:

- The water heater is equipped with a mandated pressure-temperature relief valve.

## Main Panel

### 1. General Comments

Observations: Our inspection includes an electrical inspection of the main panel, sub panel and it's components. We follow ASHI standards to include only service drop, service entrance cables and main disconnects, service grounding, interior panel components, conductors, over current protection devices, GFCI and AFCI function and presence.



## 2. Size And Location

### Observations:

- The residence is served by a 100 amp, 220 volt overhead service, located on the side of the house. The main panel is a 100 amp, 220 volt panel, located inside the basement.

## 3. Service Entrance Mast And Cleat

### Observations:

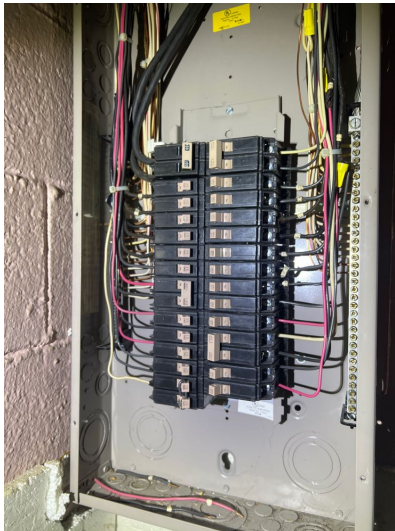
- Putty at service entrance to meter is drying out and opened. It should be resealed to help prevent water entry.



## 4. Main Panel

### Observations:

- The main electrical panel is not an original installation and has no inspection sticker on it. This panel should be inspected by an electrical inspector.



## 5. Wiring

### Observations:

- The wiring in the main electrical panel is copper and has no visible deficiencies.
- The house is wired with a combination of copper romex, rag romex, and bx wire.

## 6. Circuit Breakers

### Observations:

- There are no visible deficiencies with the circuit breakers in the main electrical panel.

## 7. Grounding System

### Observations:

- The main electrical panel is grounded to a driven rod and to a water pipe.

# HVAC

## 1. General Comments

### Observations:

- The residence is served by a gas-fueled heating system.

## 2. HVAC Age

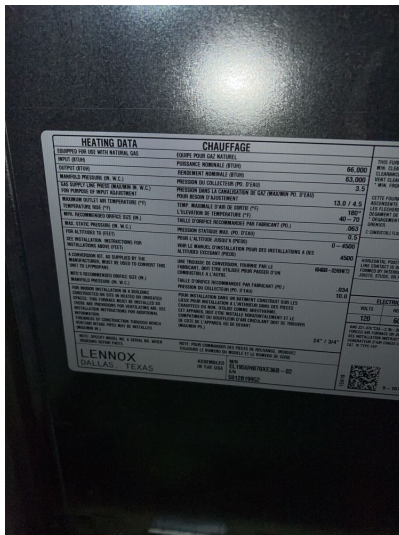
### Observations:

- The house is served by an 13 year old, 66,000 btu, forced air furnace in the the basement and a 13 year old condensing coil that is located outside.

## 3. Forced-Air Furnace

### Observations:

- This is a Lennox, high efficiency furnace serving this house. It was functional at the time of the inspection.





#### 4. Vent Pipe

Observations:

- The vent pipe is functional.

#### 5. Gas Valve and Feed

Observations:

- The gas valve and connector are in acceptable condition.

#### 6. Registers

Observations:

- The registers are functional and were in every room.

#### 7. Return Air Compartment

Observations:

- The return-air compartment is in acceptable condition. The filter should be changed every 6 months.



#### 8. Condensing Coil

Observations:

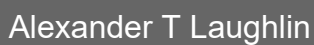
- The condensing coil responded to the thermostat and is functional.



- The air-conditioning system turned on and reached an adequate level of cooling.

Observations:

- There was an around 1 year old split system air conditioner installed in the addition. This system was tested and appeared to function properly at the time of the inspection.





# Report Conclusion

## 1. Report Conclusion

### Observations:

- Thank you for using High Touch Home Inspections for your inspection services! We truly appreciate your trust in us that we have done the best possible job for you and your family! Please read through the entire report. If you have any questions, PLEASE DO NOT HESITATE TO CALL! We hold ourselves at High Touch to the highest level and want to be sure that our clients feel that they've had the best experience possible.

Thank you!

High Touch Home Inspections  
(412)515-3866

# Certified Contractors

## 1. Repairs

### Observations:

- It is our strong recommendation that you hire certified contractors to perform any type of work on your home. Codes, current standards, rules and regulations are always changing and being revised. Our inspections are based off of the most recent codes and current standards to date.

## Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Expansion Tank	An expansion tank or expansion vessel is a small tank used to protect closed (not open to atmospheric pressure) water heating systems and domestic hot water systems from excessive pressure. The tank is partially filled with air, whose compressibility cushions shock caused by water hammer and absorbs excess water pressure caused by thermal expansion.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.